

By-Law No. 2017-82

A by-law of the City of Ottawa to amend By-law No. 2008-250 of the City of Ottawa to change the zoning of part of the lands known municipally as 175 Main Street

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This PDF contains a copy of the by-law as passed by Council on a certain date. It is a snapshot in time. It could still be in force. It might have been amended. It may have been repealed.

When in doubt, visit <http://ottawa.ca/en/residents/laws-licenses-and-permits/laws/laws-z>

If you end up asking for a copy of a by-law OttWatch doesn't have yet, please ask the Clerk's office to cc: kevino@kevino.net when they email it to you. You'd be doing the entire community a favour!

Enacted On: 2017-03-08

OttWatch Bylaw Reference: <http://ottwatch.ca/bylaws/2017-82>

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BY-LAW NO. 2017 – 82

A by-law of the City of Ottawa to amend By-law No. 2008-250 of the City of Ottawa to change the zoning of part of the lands known municipally as 175 Main Street.

The Council of the City of Ottawa, pursuant to Section 34 of the *Planning Act*, R.S.O.1990, enacts as follows:

1. The Zoning Map of By-law No. 2008-250, entitled the “City of Ottawa Zoning By-law” is amended as follows:

- (a) by rezoning the lands shown as Area A on Attachment 1 to this by-law from R3Q[2307] to R3Q[2376];
- (b) by rezoning the lands shown as Area B on Attachment 1 to this by-law from R3Q[2307] to R3Q[2377];
- (c) by rezoning the lands shown as Area C on Attachment 1 to this by-law from R3Q[2307] to R3Q[2378]; and,
- (d) by rezoning the lands shown as Area D on Attachment 1 to this by-law from R3Q[2307] to R3Q[2379];

2. Section 239 – Urban Exceptions of the said By-law No. 2008-250 is amended by adding the following exceptions:

I Exception Number	II Applicable Zone	Exception Provisions		
		III Additional Land Uses Permitted	IV Land Uses Prohibited	V Provisions
2376	R3Q[2376]			- Despite anything to the contrary in this by-law, development of more than one residential use building on a lot is not considered a planned unit development. - Sections 139 and 140 do not apply to the initial construction of a residential use building on the site, but do apply except where otherwise regulated in this exception to: (i) a change in use from one type of residential use building to another permitted dwelling type; (ii) an addition to an existing residential use building that abuts the front yard or corner side yard;

				<p>and,</p> <p>(iii) the incidental use of lands within the front, interior side and corner side yards, including the creation of a new driveway or parking space, associated with an existing residential use building.</p> <ul style="list-style-type: none"> - Minimum width of a private way is 3 metres. - Minimum lot width is 4 metres. - Minimum lot area is 75 square metres. - Maximum building height is 11 metres. - Minimum front yard setback is 2.0 metres. - Minimum rear yard setback is 2.3 metres. - Despite Section 59, a lot is considered to comply with Section 59 if it abuts a private way for a distance of at least 3 metres. - Where a lot abuts a private way the front lot line is deemed to be that lot line furthest from, opposite and more or less parallel to the lot line abutting the private way. - A roof top access is not permitted. - Despite Section 109, where a walkway is located between two dwellings, the maximum permitted width is 2.4 metres. - For the purposes of calculating the maximum permitted building height for the initial construction of a residential use building, the definition of grade in Section 54 is to be used. - the maximum size and extent of the following permitted projections into all required yards is as follows: <ul style="list-style-type: none"> (i) chimney, chimney box and fireplace box is 1 m, but not closer than 0.3 metre to a lot line;
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				<p>(ii) eaves, eave-troughs and gutters is 1 metre, and may project up to a front lot line and not closer than 0.15 metre to all other lot lines;</p> <p>(iii) ornamental elements such as sills, belt courses, cornices, parapets and pilasters is 1.5 metres, but not closer than 0.3 metres to a lot line;</p> <p>(iv) covered or uncovered balcony, porch, deck platform and verandah is 3 metres, and may project up to a front, rear, or corner side lot line and no closer than 0.15 metres to an interior side yard lot line; and</p> <p>(v) open stairways, stoop, landing steps and ramps may project to a lot line.</p>
2377	R3Q[2377]			<p>- Despite anything to the contrary in this by-law, development of more than one residential use building on a lot is not considered a planned unit development.</p> <p>- Sections 139 and 140 do not apply to the initial construction of a residential use building on the site, but do apply except where otherwise regulated in this exception to:</p> <p>(i) a change in use from one type of residential use building to another permitted dwelling type;</p> <p>(ii) an addition to an existing residential use building that abuts the front yard or corner side yard; and,</p> <p>(iii) the incidental use of lands within the front, interior side and corner side yards, including the creation of a new driveway or parking space, associated with an existing residential use building.</p> <p>- Minimum width of a private way is 3 metres.</p>

				<ul style="list-style-type: none"> - Minimum lot width is 4 metres. - Minimum lot area is 75 square metres. - Maximum building height is 11 metres. - Minimum front yard setback is 0.5 metres. - Minimum rear yard setback is 0.8 metres. - Minimum interior side yard setback is 1.0 metres. - Despite Section 59, a lot is considered to comply with Section 59 if it abuts a private way for a distance of at least 3 metres. - Where a lot abuts a private way the front lot line is deemed to be that lot line furthest from, opposite and more or less parallel to the lot line abutting the private way, and where more than one lot line abuts a private way, the front lot line is deemed to be that lot line furthest from, opposite and more or less parallel to the lot line abutting the private way and over which a driveway is located. - A roof top access is not permitted. - Despite Section 109, where a walkway is located between two dwellings, the maximum permitted width is 2.4 metres. - For the purposes of calculating the maximum permitted building height for the initial construction of a residential use building, the definition of grade in Section 54 is to be used. - The maximum size and extent of the following permitted projections into all required yards is as follows: <ul style="list-style-type: none"> (i) chimney, chimney box and fireplace box is 1 m, but not closer than 0.3 metre to a lot line;
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				<p>(ii) eaves, eave-troughs and gutters is 1 metre, and may project up to a front lot line and not closer than 0.15 metre to all other lot lines;</p> <p>(iii) ornamental elements such as sills, belt courses, cornices, parapets and pilasters is 1.5 metres, but not closer than 0.3 metre to a lot line;</p> <p>(iv) covered or uncovered balcony, porch, deck platform and verandah is 3 metres, and may project up to a front, rear, or corner side lot line and no closer than 0.15 metres to an interior side yard lot line; and</p> <p>(v) open stairways, stoop, landing steps and ramps may project to a lot line.</p>
2378	R3Q[2378]			<p>- Sections 139 and 140 do not apply to the initial construction of a residential use building on the site, but do apply except where otherwise regulated in this exception to:</p> <p>(i) a change in use from one type of residential use building to another permitted dwelling type;</p> <p>(ii) an addition to an existing residential use building that abuts the front yard or corner side yard; and,</p> <p>(iii) the incidental use of lands within the front, interior side and corner side yards, including the creation of a new driveway or parking space, associated with an existing residential use building.</p> <p>- Minimum width of a private way is 3 metres.</p> <p>- Minimum lot width is 7.0 metres.</p> <p>- Minimum lot area is 145 square metres.</p> <p>- Maximum building height is 11 metres.</p>

			<ul style="list-style-type: none"> - Minimum rear yard setback is 2.5 metres. - Minimum interior side yard setback is 0.2 metres for a distance of 5 metres. The minimum interior side yard setback for the remainder of the side yard is 0.6 metres. - Despite Section 59, a lot is considered to comply with Section 59 if it abuts a private way for a distance of at least 3 metres. - Where a lot abuts a private way the front lot line is deemed to be that lot line furthest from, opposite and more or less parallel to the lot line abutting the private way, and where more than one lot line abuts a private way, the front lot line is deemed to be that lot line furthest from, opposite and more or less parallel to the lot line abutting the private way and over which a driveway is located. - A roof top access is not permitted. - Despite Section 109, where a walkway is located between two dwellings, the maximum permitted width is 2.4 metres. - For the purposes of calculating the maximum permitted building height for the initial construction of a residential use building, the definition of grade in Section 54 is to be used. - The maximum size and extent of the following permitted projections into all required yards is as follows: <ul style="list-style-type: none"> (i) chimney, chimney box and fireplace box is 1 metre, but not closer than 0.3 metre to a lot line; (ii) eaves, eave-troughs and gutters is 1 metre, and may project up to a front lot line and
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				<p>not closer than 0.15 metre to all other lot lines;</p> <p>(iii) ornamental elements such as sills, belt courses, cornices, parapets and pilasters is 1.5 metres, but not closer than 0.3 metre to a lot line;</p> <p>(iv) covered or uncovered balcony, porch, deck platform and verandah is 3 metres, and may project up to a front, rear, or corner side lot line and no closer than 0.15 metres to an interior side yard lot line; and</p> <p>(v) open stairways, stoop, landing steps and ramps may project to a lot line.</p>
2379	R3Q[2379]			<p>- Sections 139 and 140 do not apply to the initial construction of a residential use building on the site, but do apply except where otherwise regulated in this exception to:</p> <p>(i) a change in use from one type of residential use building to another permitted dwelling type;</p> <p>(ii) an addition to an existing residential use building that abuts the front yard or corner side yard; and,</p> <p>(iii) the incidental use of lands within the front, interior side and corner side yards, including the creation of a new driveway or parking space, associated with an existing residential use building.</p> <p>- Minimum width of a private way is 3 metres.</p> <p>- Minimum lot width is 7.3 metres.</p> <p>- Minimum lot area is 145 square metres.</p> <p>- Maximum building height is 11 metres.</p> <p>- Minimum rear yard setback is 0.3 metres.</p> <p>- Minimum interior side yard</p>

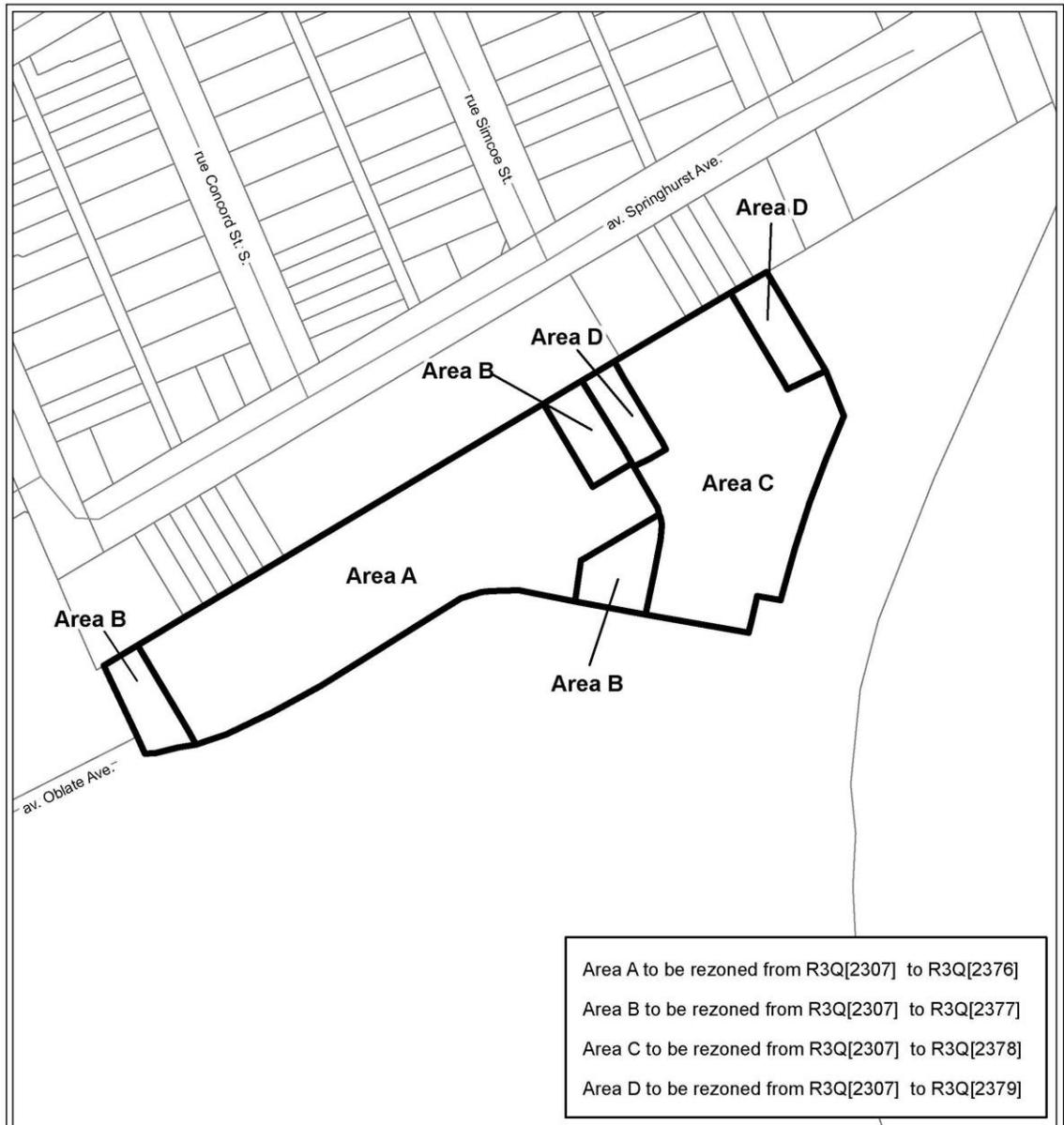
				<p>setback is 0.2 metres for a distance of 5 metres. The minimum interior side yard setback for the remainder of the side yard is 0.6 metres.</p> <ul style="list-style-type: none"> - Despite Section 59, a lot is considered to comply with Section 59 if it abuts a private way for a distance of at least 3 metres. - Where a lot abuts a private way the front lot line is deemed to be that lot line furthest from, opposite and more or less parallel to the lot line abutting the private way, and where more than one lot line abuts a private way, the front lot line is deemed to be that lot line furthest from, opposite and more or less parallel to the lot line abutting the private way and over which a driveway is located - A roof top access is not permitted. - Despite Section 109, where a walkway is located between two dwellings, the maximum permitted width is 2.4 metres. - For the purposes of calculating the maximum permitted building height for the initial construction of a residential use building, the definition of grade in Section 54 is to be used. - The maximum size and extent of the following permitted projections into all required yards is as follows: <ul style="list-style-type: none"> (i) chimney, chimney box and fireplace box is 1 m, but not closer than 0.3 metre to a lot line; (ii) eaves, eave-troughs and gutters is 1 metre, and may project up to a front lot line and not closer than 0.15 metre to all other lot lines; (iii) ornamental elements such as
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				<p>sills, belt courses, cornices, parapets and pilasters is 1.5 metres but not closer than 0.3 metre to a lot line;</p> <p>(iv) covered or uncovered balcony, porch, deck platform and verandah is 3 metres, and may project up to a front, rear, or corner side lot line and no closer than 0.15 metres to an interior side yard lot line; and</p> <p>(v) open stairways, stoop, landing steps and ramps may project to a lot line.</p>
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ENACTED AND PASSED this 8th day of March, 2017.

CITY CLERK

MAYOR



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LANDS AFFECTED PART OF THE ZONING MAP OF BY-LAW NO. 2008-250	

This is Attachment 1 to By-law Number 2017-82, passed March 8, 2017

Lands Affected by By-law

Areas to be rezoned as per Legend



