

By-Law No. 2017-85

A by-law of the City of Ottawa to amend the Official Plan for the City of Ottawa to amend Schedule B of the Preston-Carling District Secondary Plan in Volume 2a "Secondary Plans of the Official Plan for the City of Ottawa for part of lands municipally known as 333, 343, and 347 Preston Street and 17 Aberdeen Street

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Enacted On: 2017-03-08

OttWatch Bylaw Reference: <http://ottwatch.ca/bylaws/2017-85>

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BY-LAW NO. 2017 - 85

A by-law of the City of Ottawa to amend the Official Plan for the City of Ottawa to amend Schedule B of the Preston-Carling District Secondary Plan in Volume 2a – Secondary Plans of the Official Plan for the City of Ottawa for part of lands municipally known as 333, 343, and 347 Preston Street and 17 Aberdeen Street.

WHEREAS Planning Committee convened a public meeting to consider the adoption of the aforementioned official plan amendment;

AND WHEREAS Planning Committee recommends the adoption of the aforementioned official plan amendment;

AND WHEREAS Council on March 8th, 2017 carried the recommendation of Planning Committee;

THEREFORE the Council of the City of Ottawa enacts as follows:

1. The attached document, being Official Plan Amendment No. 183 to the Official Plan for the City of Ottawa, is hereby adopted.
2. This by-law shall come into force in accordance with the provisions of the *Planning Act*, R.S.O. 1990, c.P.13, as amended.

ENACTED AND PASSED this 8th day of March, 2017.

CITY CLERK

MAYOR

**Official Plan Amendment 183 to the
Official Plan for the
City of Ottawa**

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THE STATEMENT OF COMPONENTS

PART A – THE PREAMBLE introduces the actual amendment but does not constitute part of Amendment No. 183 to the Official Plan for the City of Ottawa.

PART B – THE AMENDMENT constitutes Amendment 183 to the Official Plan for the City of Ottawa.

PART A – THE PREAMBLE

1. Purpose

The Official Plan Amendment will permit a 25-storey building.

2. Location

The property is located east of Preston Street, north of Highway 417, west of Rochester Street and north of Aberdeen Street.

3. Basis

The site is currently designated as a Mixed-Use Block on Schedule A – Land Use Character Areas and with a maximum building height of 15 storeys on Schedule B – Height and Tower Location within the Preston-Carling District Secondary Plan. The proposed 25-storey building requires an Official Plan amendment to Schedule B to introduce a new height category and to identify a new location for a high profile building.

Background

At the time of the adoption of the Preston-Carling District Community Design Plan and the Preston-Carling District Secondary Plan, the heights of the existing building on the property were recognized, but no additional height was contemplated on the site.

Rationale

The property is subject to the Preston-Carling District Community Design Plan and the Preston-Carling District Secondary Plan.

The Plan notes that the northern end of the District will continuously be anchored by the successful mixed-use office development known as Preston Square, but identified that vacant or underutilized properties in the vicinity offer redevelopment opportunities. The Plan observed that such sites have the potential to add to the mix of uses and functions necessary to create a dynamic district, while still respecting the massing and scale of the surrounding urban fabric. The proposed increase in height adds population density to support the uses within the Mixed-Use Centre and along the Traditional Mainstreet and takes advantage of the rapid transit available at Carling Avenue O-Train/future LRT station and the future Gladstone station.

The building will be located internal to the site, minimizing negative impacts to the public realm. Shadows will fall to the north, towards Highway 417. The building has been carefully sited within the existing complex so that only 12 units within the new tower will have principal living spaces (obliquely) facing the office buildings. The

units above the 13th floor of the proposed tower will be above the 11-storey office towers.

Although an 11 metre separation distance is proposed (less than the 20 metres recommended by the Secondary Plan and the 23 metres recommended within the Official Plan Amendment 150), the tower separation is appropriate given the small floor plate size, the offset to adjacent buildings and the mix of uses on the site.

Wind impacts have been assessed through a wind study, which found that the microclimate conditions within the landscaped courtyard will improve as a result of the new tower.

No additional parking is required for this new tower, and through the application for site plan control, incentives to encourage non-automobile models of travel (such as real-time transit boards and arrangements for car or bike sharing) will be explored. The addition of an improved and universally-accessible pedestrian connection between Preston Street and Rochester Street will contribute to the “pedestrians-first” goals for mobility within the Secondary Plan.

PART B – THE AMENDMENT

1. Introduction

All of this part of this document entitled Part B – The Amendment consisting of the following text and the attached Schedule A constitutes Amendment No. 183 to the Official Plan for the City of Ottawa.

2. Details

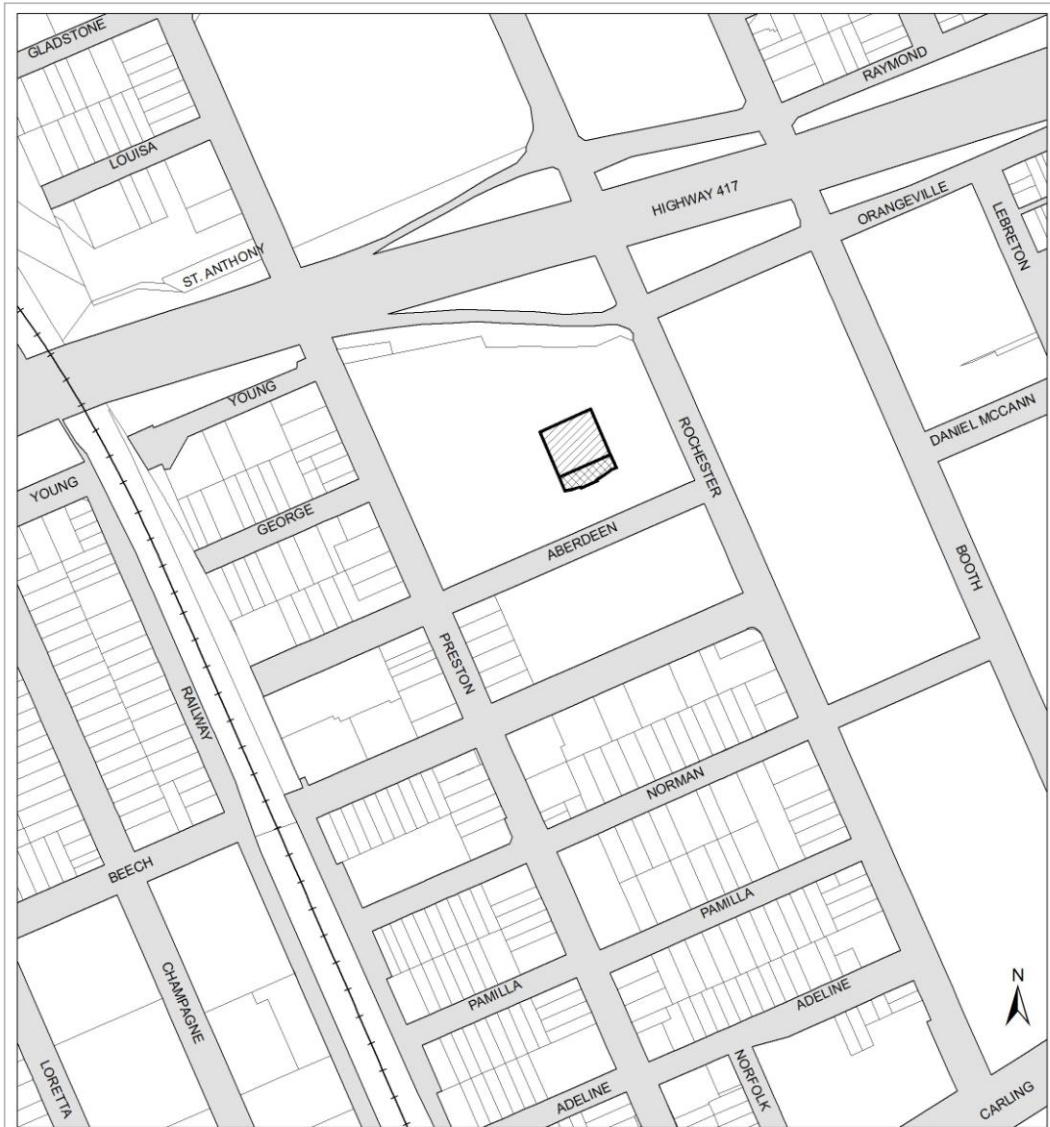
The following changes are hereby made to the Official Plan for the City of Ottawa:

2.3 The Preston-Carling District Secondary Plan is hereby amended by replacing Schedule B – Height and Tower Location with a new Schedule.

3. Implementation and Interpretation

Implementation and interpretation of this Amendment shall be in accordance with the policies of the Official Plan for the City of Ottawa.

SCHEDULE A



Prepared by: Planning, Infrastructure and Economic Development Department, GIS and Data Management



Préparé par: Services de la planification, de l'infrastructure et du développement économique
SIC et Cession des données

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Scale - N.T.S. / Echelle N.A.E.

**SCHEDULE 1 to
AMENDMENT NO.183**
to the OFFICIAL PLAN
for the CITY OF OTTAWA
Amending Schedule B -
Height and Tower Location
PRESTON-CARLING DISTRICT
SECONDARY PLAN



LANDS REDESIGNATED FROM MAXIMUM BUILDING HEIGHT "15 STOREYS" TO MAXIMUM BUILDING HEIGHT "25 STOREYS"
TERRAINS DONT LA DÉSIGNATION PASSERA DE HAUTEURS MAXIMALES DES IMMEUBLES « 15 ÉTAGES » À HAUTEURS
MAXIMALES DES IMMEUBLES « 25 ÉTAGES »



LANDS REDESIGNATED FROM MAXIMUM BUILDING HEIGHT "9 STOREYS" TO MAXIMUM BUILDING HEIGHT "25 STOREYS"
TERRAINS DONT LA DÉSIGNATION PASSERA DE HAUTEURS MAXIMALES DES IMMEUBLES « 9 ÉTAGES » À HAUTEURS
MAXIMALES DES IMMEUBLES « 25 ÉTAGES »

**ANNEXE 1 de
L' AMENDEMENT NO.183**
au PLAN OFFICIEL
de la VILLE D'OTTAWA
Modifiant l'Annexe B -
Hauteur
SECTEUR PRESTON-CARLING
PLAN SECONDAIRE



