

By-Law No. 2017-86

A by-law of the City of Ottawa to amend By-law No. 2008-250 of the City of Ottawa to change the zoning of the lands known municipally as 333, 343, and 347 Preston Street and 17 Aberdeen Street

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Be aware though that you may not be looking at the most recent version of this by-law. It is very possible that it has been amended by Council by another by-law, or even by the Ontario Municipal Board. So, um, just know that before assuming anything.

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Enacted On: 2017-03-08

OttWatch Bylaw Reference: <http://ottwatch.ca/bylaws/2017-86>

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BY-LAW NO. 2017 - 86

A by-law of the City of Ottawa to amend By-law No. 2008-250 of the City of Ottawa to change the zoning of the lands known municipally as 333, 343, and 347 Preston Street and 17 Aberdeen Street.

The Council of the City of Ottawa, pursuant to Section 34 of the *Planning Act*, R.S.O.1990, enacts as follows:

1. The Zoning Map of By-law No. 2008-250, entitled the "City of Ottawa Zoning By-law" is amended by rezoning the lands shown on Attachment 1 to this by-law as follows:

- (a) Area A from MC[107] F(2.5) to TM[2188] H(24.5)
- (b) Area B from MC[107] F(2.5) to MC[107] H(50)
- (c) Area C from MC[107] F(2.5) to MC[107] H(148) A.S.L.
- (d) Area D from MC F(2.5) to MC[107] H(148) A.S.L. and;
- (e) Area E from MC F(2.5) to MC[107] H(91) A.S.L.

2. Section 239 – Urban Exceptions of the said By-law No. 2008-250 is amended as follows:

(a) Exception 107 is amended by replacing all of the text in Column V with the following:

"-The minimum separation distance between parts of buildings above 15 metres in height between residential and non-residential uses is 11 metres.

-Maximum building heights do not apply to balconies, canopies and ornamental elements projecting into the MC[107] H(91) A.S.L. zone.

-The lands zoned TM[2188] H(24.5), MC[107] H(50), MC[107] H(148) A.S.L. and MC[107] H(91) A.S.L. are considered one lot for the zoning purposes.

-Visitor and non-residential parking may be shared."

(b) Exception 2188 is amended by adding the following text to Column V:

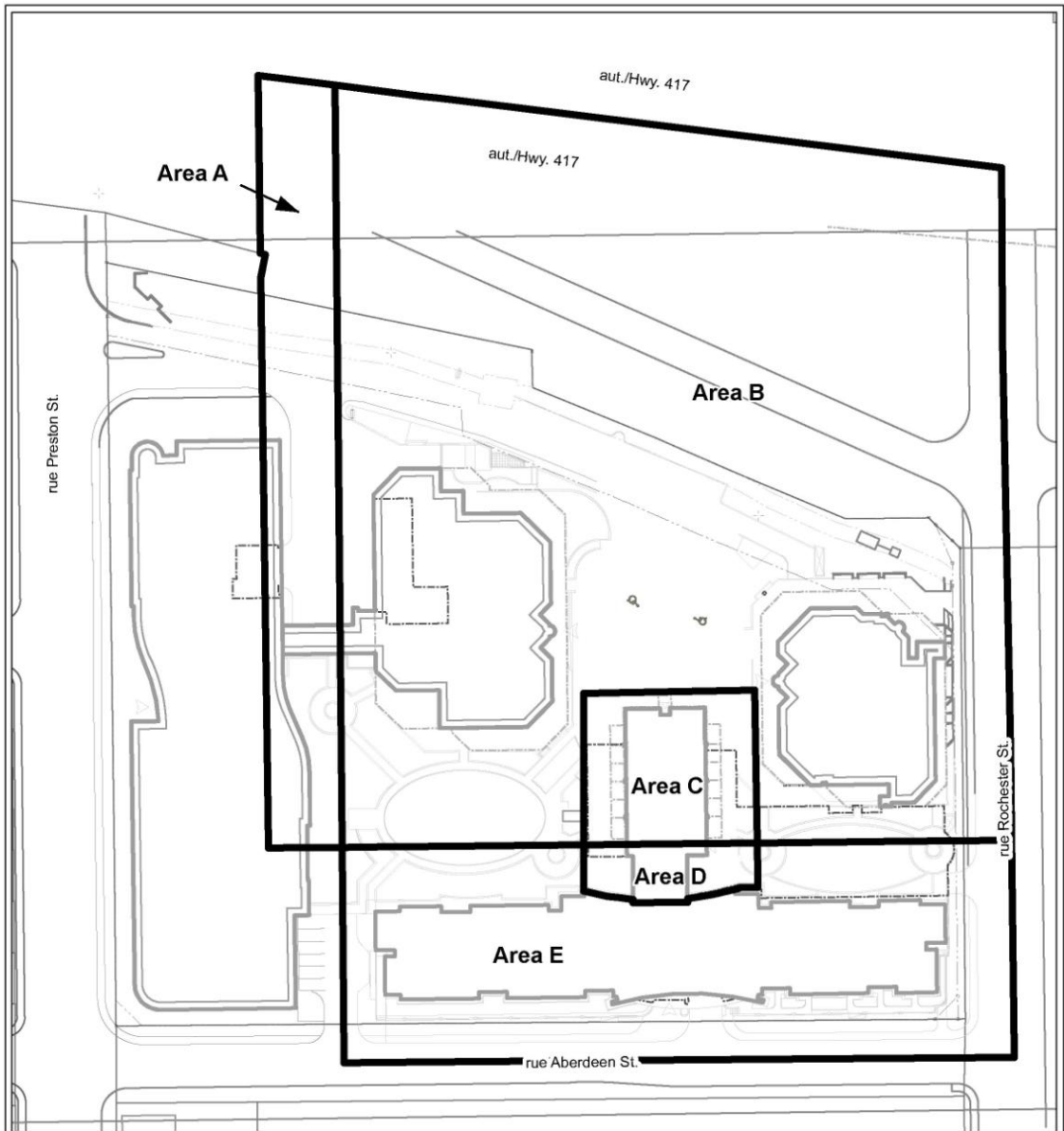
"-The lands zoned TM[2188] H(24.5), MC[107] H(50), MC[107] H(148) A.S.L. and MC[107] H(91) A.S.L. are considered one lot for the zoning purposes.

-Visitor and non-residential parking may be shared."

ENACTED AND PASSED this 8th day of March, 2017.

CITY CLERK

MAYOR



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LANDS AFFECTED PART OF THE ZONING
MAP OF BY-LAW NO. 2008-250

This is Attachment 1 to By-law Number 2017-86, passed March 8, 2017

Lands Affected by By-law

- Area A to be rezoned from MC[107]F(2.5) to TM[2188]H(24.5)
- Area B to be rezoned from MC[107] F(2.5) to MC[107] H(50)
- Area C to be rezoned from MC[107] F(2.5) to MC[107] H(148) A.S.L.
- Area D to be rezoned from MC F(2.5) to MC[107] H(148) A.S.L.
- Area E to be rezoned from MC F(2.5) to MC[107] H(91) A.S.L.



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Enacted by City Council at its meeting of March 8, 2017.

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LEGAL SERVICES
KM/ml

COUNCIL AUTHORITY:
City Council March 17, 2017
Agenda Item 9 (PC Report No. 40)